



Pro.

THE DESIGN BUILD ADVANTAGE

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Pro.

THE DESIGN BUILD ADVANTAGE

Pro. is a collaborative initiative offered by Central Steel Build

Our vision

"Motivated by our collaborative spirit and creative problem solving, we add value to every single project.

Our vision and passion drives us to create great spaces that noticeably enhance lives.

But we don't just build outstanding structures, we support long lasting relationships.

We listen, collaborate, support, innovate and build."

Gerald Edmonds, Managing Director
Central Steel Build

Our values

Designed with a purpose

Before we determine how to build a structure, it is essential that we assess the consumer's wants and needs and their exact prospective use of the space. That is where our design team is crucial in their technique and attention to detail.

Continuous improvement

We integrate the latest technologies to ensure project scoping, costing and design, quality control, and the installation process move faster, generating cost-efficiency.

Integrity

Always committing to open, respectful communication with our clients and associates.

Trust

We're backed by a range of individuals specialised in the industry from welding to building. With our knowledge you can rely on us to ensure great quality and a long lasting product. We take pride in understanding your needs and wants. This process develops supportive relationships built on trust.

Genuine collaboration

A true partnership encourages innovation and engagement with all stakeholders right from the outset. Complex projects require all stakeholders to be on the same page, working together ensures consistent, positive results.

Locality

We understand the effect of following our plan with commitment to Australian made will amass over time, creating extensive 'positive' environmental, economical and regional impact.

Connect with this? This is a great start.

Introducing Pro.

We are proud to have established the Pro. initiative. A refined building approach that centres around greater communication, collaboration and partnerships within the building and construction industry.

What is Pro.?

Pro. is a collaborative building project delivery model (CBPDM) - developed by Central Steel Build after we acknowledged a gap in the market for a smarter way to share, work and partner with like-minded commercial builders, owner builders and developers early on in the process of a project.

How does it work?

With foundations based on the design-build practice, we exclusively advanced (and rigorously tested) this method, then tweaked refinements to truly embrace how specialist stakeholders come together at the beginning of projects.

The Pro. approach is a first, by opening the opportunity to form a non-formal trusted partnership to be included in initial project scope, a true advantage to help you win a project or partner to explore the best solutions faster.

Like all professionals, Pro. is flexible and can engage at any point during a project. But for most effectiveness and to truly benefit from the Pro. affect, the earlier the partnership the better.

Ultimately Pro. allows for well considered, developed steel packages on key projects that results in a faster, more nimble, highly streamlined process. It's an advanced way of working.



THE DESIGN BUILD ADVANTAGE

Collaborations

We are all about people and spaces, one doesn't exist without the other. As a company, Central Steel Build really does pride itself on building genuine relationships with compatible builders within the industry. These mutual partnerships are highly valued and thrive.

Pro. was specifically established to further deeper authentic partnerships:

Commercial Builders and Pro

We connect with commercial builders throughout Australia, developing design-build projects and long lasting associations. Working in conjunction with your preferred contractors, we can also provide project-specific expertise for the structural component of your projects.

Owner Builders and Pro

We work with you and your specific suppliers as you manage your project. Our industry expertise and experience will help you maximise the results you get from your entire team. Decades of knowledge allows us to offer value engineering that will save you time and increase your project efficiency.

Our People

Behind every build is a close-working team of qualified people including builders, engineers, structural building designers, fabricators plus experienced consultants and project managers. We are more than happy to share our resources and direct you to other colleagues we have confidence in.

We are all motivated by a common goal to outperform. Whether employed by Central or an associate on a project, you are considered a team member and part of our family.

Central attracts passionate, innovative and dedicated individuals. These individuals form a respected team.

Pro. benefits

Pro. really is the design build advantage with so many positive benefits attached to this affiliation.

Here's our top 12 benefits.

 <p>efficient</p>	 <p>value engineered</p>	 <p>tailored</p>	 <p>collaborative</p>
 <p>accessible</p>	 <p>nimble</p>	 <p>agile</p>	 <p>knowledgeable</p>
 <p>experienced</p>	 <p>supportive</p>	 <p>project managed</p>	 <p>insightful</p>



Why we differ

As steel build specialists, Pro. is 'the' design build advantage with a unified, collaborative approach to a construction project. This unique approach enables encouragement to innovate and engage with all stakeholders right from the outset, remodelling the way you currently resource. Our open communication sets us apart.

Pro. has the capability to scope a complex project in a more nimble way by engaging trusted advisors and suppliers, collaborating round table rather than the traditional tender project delivery that is slow and not always value engineered.

Our proven experience and capabilities in commercial builds enables us to quickly dig into a level of detail far beyond the usual scope at this stage of a tender. This gives you a tremendous advantage. We share our resources and have your back.

Inclusive package

Pro. allows us to consolidate one inclusive package in preference to a traditional method where several packages are on the table.

Pro.'s master package covers:

- engineering of steel, concrete slabs and concrete panels
- steel shop drawings
- BOM generation
- steel fabrication
- site set-out and foundations
- installation of steel work
- installation of roof and wall metal cladding
- small goods (doors/ventilation/insulation)

This one package advantage, lessens the risk all round to reduce 'scope creep' and keeps all eggs in one basket (so to speak) for you, the builder. This inclusive package also invests in a single point of responsibility and contact.

From our observation, packages split between various suppliers and contractors can result in confusion and frustration for commercial and owner builders to price and co-ordinate. Eliminate the headache and save time.

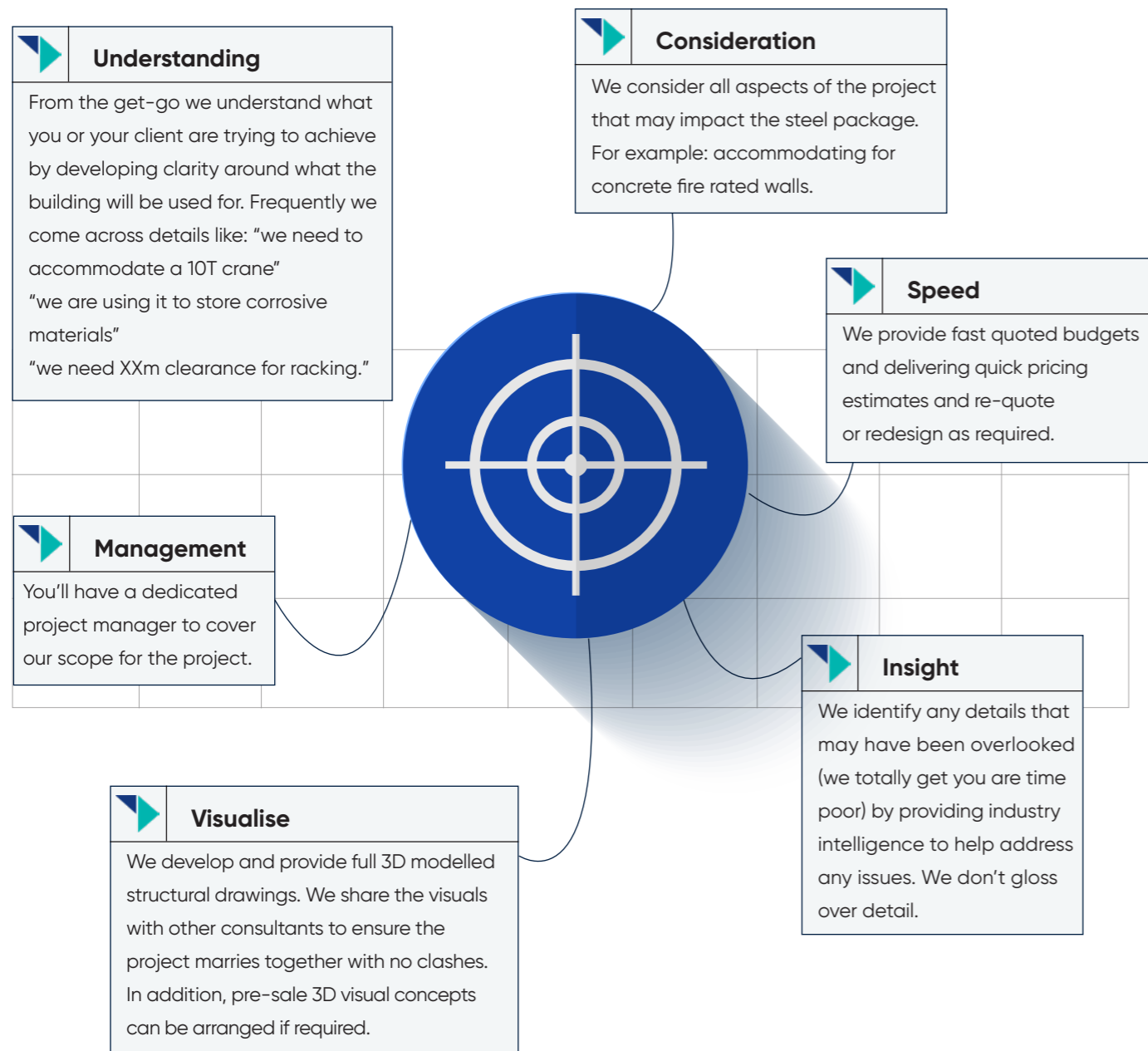
Information sharing.

We operate all BIM 360 compatible CAD programs that we willingly share with all parties. This facilitates a seamless project delivery by eliminating any clashes and constraints that can be identified early on rather than resulting in cost blowouts and variations. This is why we are 'the' design build advantage.

What we do

- Listen. Consider. Innovate. Build
- We bring care and expertise to the way we engineer and build
- We commit to every detail on every project until it's perfect
- We strive for continuous improvement of our processes. That's how we ensure that your project is our absolute best
- The detail of Pro. breaks our scope into two specific areas:

1. Our project scope



2. Our building scope

We design and build quality steel structures.
Our steel scope (and additions) can package together:

- structural steel drawings, engineering certificate and computations
- structural concrete engineering
- 3D structural steel drawings
- fabricated steel package (hot dip galvanised or painted finish)
- purlins and girts
- external steel cladding (roof & wall)
- internal structural walls
- industrial roller shutters & sliding doors
- industrial fire egress compliant access doors
- guttering & rainwater systems
- roof and wall insulation
- ventilation
- natural light (sky & wall lights)
- customised mezzanine floor
- cantilever canopies/lean-tos/verandas
- parapet walls
- attached signage frames
- architectural bulkheads
- structural glazing support beams
- attached office complex packages including steel & roof
- fascia trusses
- crane stubs and runway beams
- large clear-span openings

We include engineering fees to cover off design work for steelwork, foundations, concrete slabs (if requested, this will vary per project), and concrete panels.

How we build

The process

How we build.

Pro. is a faster, more nimble, highly streamlined process. The refined pre-build process actions open respectful conversations with you - our client. Experience confirms this creates the very best results and builds trust.

Before we can get started on building the structure, we want to understand how your client is going to experience it. We actively research the end user, then put our ideas under the microscope to present the best possible solutions to design and value engineer.

One highly effective part of the process is the ability to pull together a multitude of packages into just one master package, simplifying the process. One package equates to greater clarity in less time.

Everyone on the team trusts each other and acts with a single entity mindset. The whole process centres around sharing, refining, improving with great knowledge on board.

The steps

1.

Initial consultation

The collaboration begins, share the load. Sit down with our Pro. specialists so we can fully understand the breadth of your project from what you need, to what you imagine. Our aim is to take this build to the next level. From the initial conversation, we can start to problem solve and determine the full scope.

2.

Connection

Rely on Pro. as your ultimate build advisors. We know too well it can be a stressful time to navigate. We're here to alleviate the pressure and will help you deal with a multitude of trades to ensure your project is 100% on the right path.

3.

Value engineering

Pro. will offer you the most effective way to value engineer your project. We continue to explore all possible design options to find the most effective, nimble and economical outcome. Always striving for the best possible design solution.

4.

Site survey or inspection

A free on-site inspection and survey takes place to assess the proposed location for the build. This will allow us to address any aspects that may become an issue later on such as site access, drainage, etc.

5.

Engineering package

A most beneficial step which Pro. uniquely offers. Our team of structural building designers and engineers continue to refine the space that will exceed your requirements whilst continuously collaborating with other specialised consultants. 3D modelled structural drawings are presented and a file share affiliation takes place, again truly creating a joint collective of skills.

6.

Shop design drawing review

Attention to detail is second to none with thorough reviews of the design drawings by all parties. During this step Pro. regulates not one but two internal reviews. The Engineering Compliance Certificate is completed and presented.

7.

Fabrication and construction

Your project hits the factory, our fabricators set to work manufacturing trusses, columns etc. Our factory is the pride of our team as we've all undertaken extensive training in lean manufacturing. Teamwork is the keyword as your build is transported and ready for installation on-site. Our installation teams have been doing this for years and work closely together to ensure your steel is erected quickly, safely and properly.

8.

Handover

Our frames are built to last. We use only the highest quality Australian made steel and components. We stand by our work and offer a twelve month structural and workmanship guarantee, you're in safe hands.

Until next time

The project comes to an end but we are confident our partnership won't end here. It's no secret we nurture partnerships with compatible builders. Pro. will change your business.

Pro.

THE DESIGN BUILD ADVANTAGE

Support



Future forward

At Central Steel Build we understand the importance of local manufacturing and construction, with all of our buildings consciously made from Australian steel. Supporting Australian manufacturing (and local industries) is simply part of us.

Attracting a close working team of qualified engineers, structural building designers, fabricators, builders and experienced consultants, we're motivated by a common goal to create great spaces that enhance lives. Powered by the passion to outperform.

Our team is one of the most skilled in the country, our factory is set up with cutting edge machinery and manufacturing processes. This allows us to proudly employ the very best talent on our doorstep.

We understand the effect of following our plan with commitment to Australian made will amass over time, creating extensive positive environmental, economical and regional impact. We also hope that our eco efficient policies will influence the wider communities view of furthering sustainable practices.

To ensure quality and longevity, our builds come with:



CPH Group

Client or company

CPH, supply solutions for the digital print industry.

The brief

The owner builder reached out to Central Steel via referral, commissioning us to design and construct a new combined office and warehouse to suit the size of the pre-purchased industrial block. The street presence was extremely important with emphasis to accommodate the architectural cladding already earmarked.

The various entry and exit points and general flow of traffic on the site was crucial, whilst placing of canopies and doors required much consideration to comply with council and fire service requirements.



Project Overview

Industry
Commercial

Project value range
\$1.4M - \$1.8M

On-site build time
13 weeks

Completion time
December 2019

Owner Builder
Tristan Hornsey

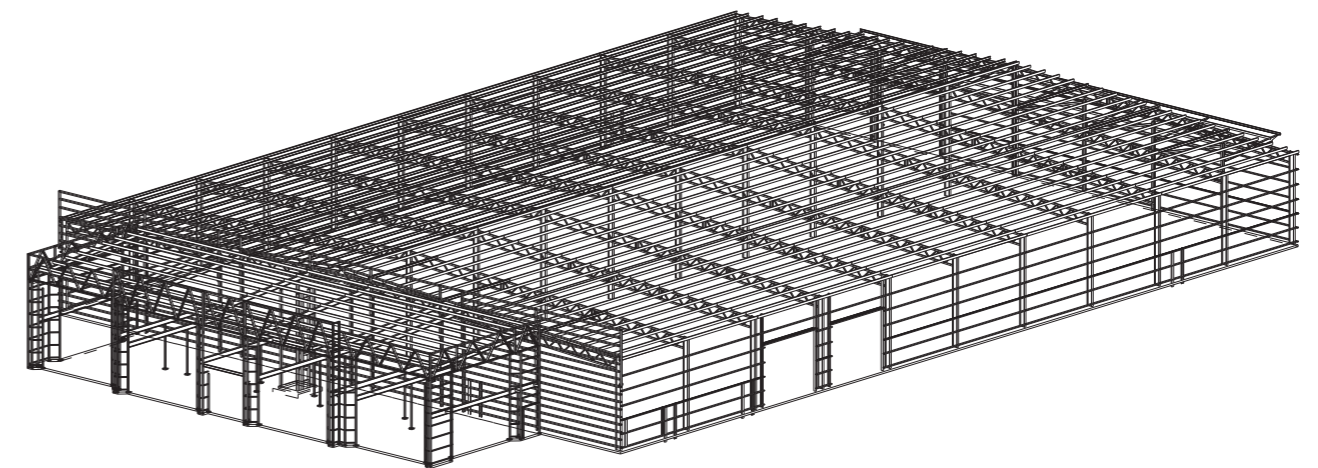
Building designers
KVA Design

Consulting Geologists
Provincial Geotechnical

Other consultants
Fire engineer
Lift supplier

Our scope and build details

- ▶ structural steel drawings, engineering certificate and computations
- ▶ structural concrete engineering including raft slab design for the office
- ▶ 3D structural steel drawings
- ▶ fabricated steel package HDG
- ▶ purlins and girts
- ▶ external steel cladding (roof & wall)
- ▶ industrial roller shutters
- ▶ 920w Industrial fire egress compliant access doors
- ▶ guttering & above ground rainwater systems
- ▶ roof insulation
- ▶ skylights
- ▶ customised office mezzanine floor
- ▶ parapet walls for office & front of warehouse
- ▶ architectural bulkheads for office
- ▶ structural glazing support beams
- ▶ attached office complex packages including steel & roof
- ▶ lift void support steelwork
- ▶ cantilever canopy

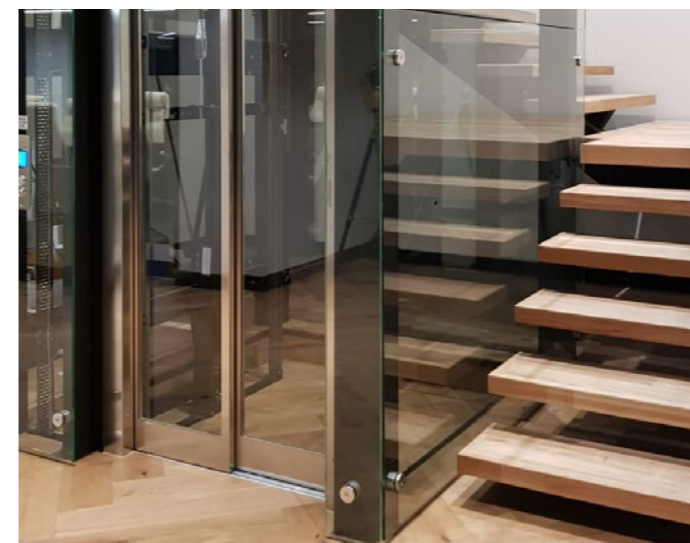
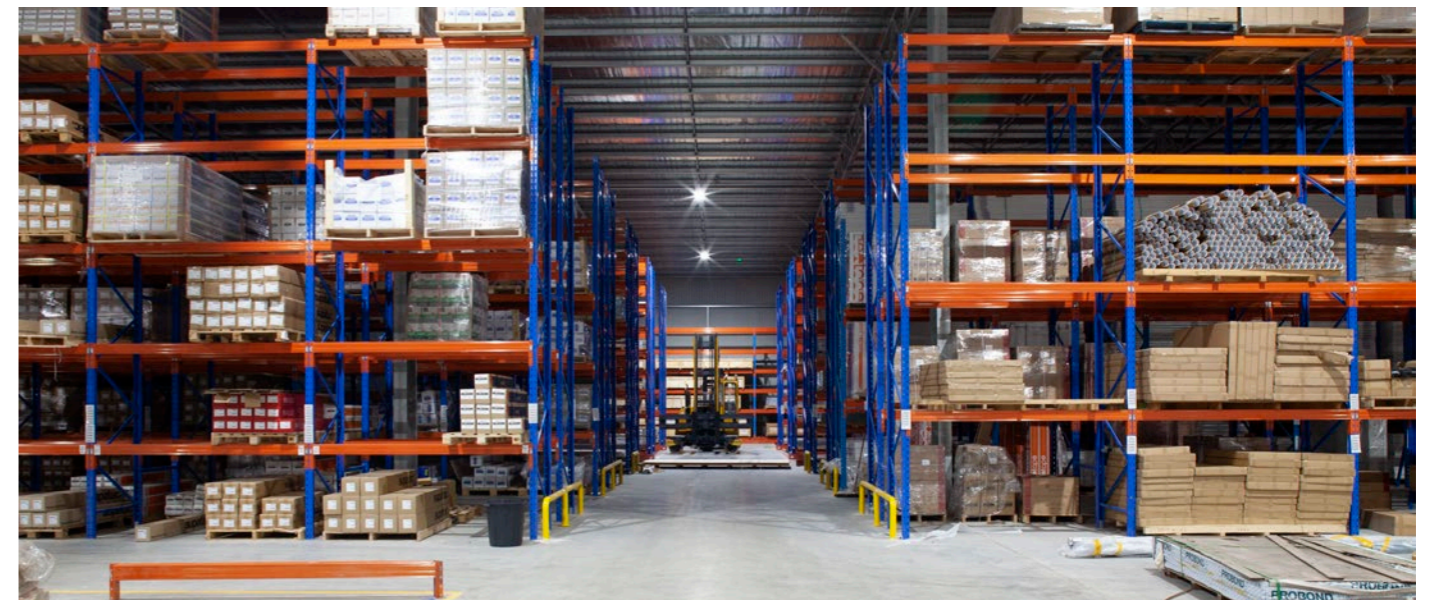


Challenges and solutions

Close collaboration with a fire engineer was essential due to the size of the building (4497m³). Economical fire wall framing was added to meet requirements. We worked closely with a lift supplier to ensure a seamless intergration in the office mezzanine floor frame, to accommodate a future lift installation.

The colour scheme needed careful thought, a splash of modern hues of vertical/horizontal wall cladding became a feature.

The office required concealed internal box gutters/rainheads. Plus 6, 900mm roof vents were included to comply with ventilation requirements.





CPH Group

Combined office
and warehouse

40m x 13m (double story)
77.5m x 57.9m x 7.5m (4497m²)

Space completed

December 2019

Located

Corio, VIC



Testimonial

“The partnership was really great. We were not the easiest customer being a first time owner builder, there was a bit of learning on my side and they helped me through that experience particularly assisting me with other subtrades and contacts needed.

Central was a pleasure to work with, all points of contact were so helpful. I would absolutely build with them again.”

Tristan Hornsey, Owner Builder

Inbox Group

Client or company

Inbox, custom printed cardboard boxes.

The brief

Approached directly by the owner who was looking to develop a cutting edge manufacturing facility for custom cardboard boxes, our brief was to incorporate a double story office, supporting 30% glazing across the front. The brief required us to incorporate a slab design that accommodated a waste drain for large printers. Requesting a classy presence for the office facade without breaking the bank.



Project Overview

Industry
Commercial

Project value range
\$800K - \$1.2M

On-site build time
7 weeks

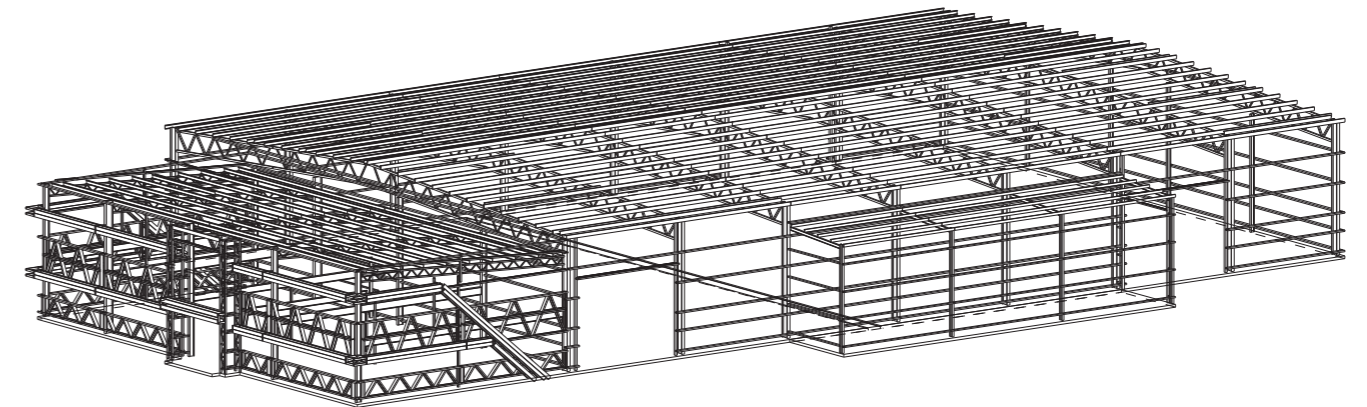
Completion time
June 2020

Commercial builder
MKM Constructions

Consulting Suppliers
Architect
Geotech
Fire engineer
Structural engineer
Concrete panel
Operable louvre

Our scope and build details

- structural steel drawings, engineering cert and computations
- structural concrete engineering
- 3D structural steel drawings
- fabricated steel package HDG
- purlins and girts
- external steel cladding (roof & wall)
- industrial roller shutters and sliding doors
- 920w Industrial fire egress compliant access doors
- guttering & rainwater systems
- roof insulation
- skylights
- customised office mezzanine floor
- enclosed lean-to
- parapet walls for office
- architectural bulkheads for office
- structural glazing support beams
- attached office complex packages including steel & roof



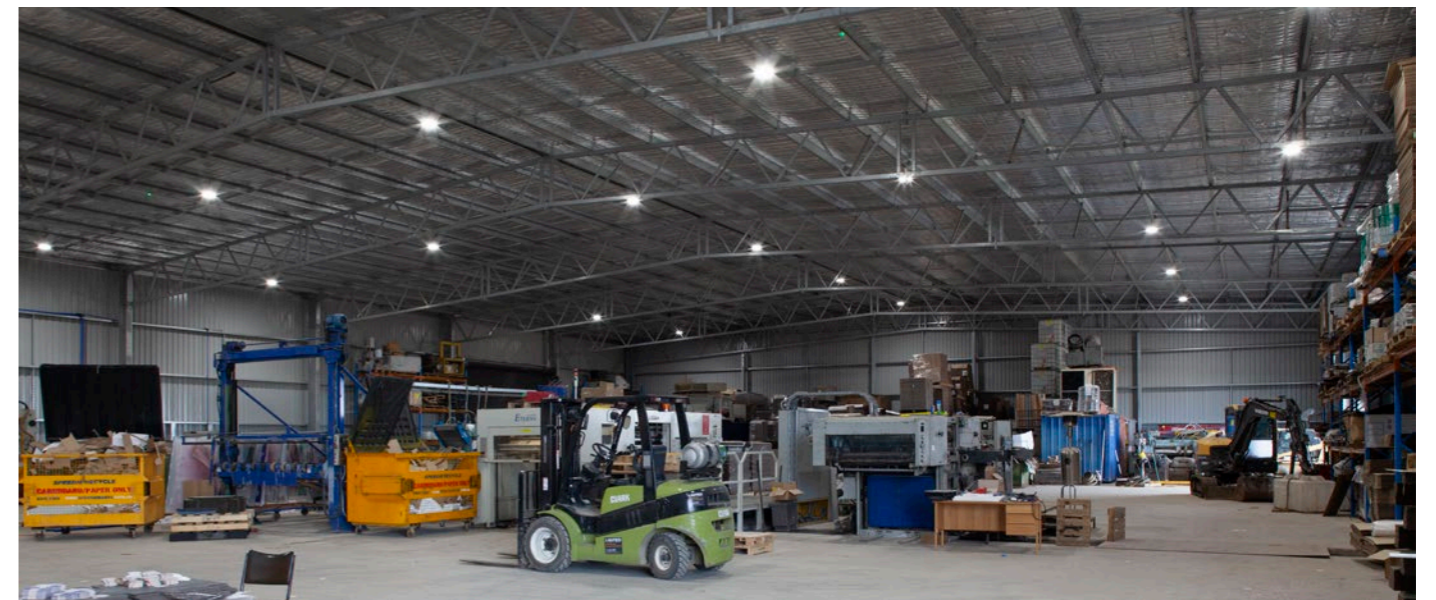
Challenges and solutions

Our well considered design overcame some tricky details to construct the large external bulkheads on the offices whilst staying within the budget.

We had to consider very specific slab details to accommodate internal waste drains ensuring the foundations were adequate, whilst considering the soil conditions from the report.

Adding in a last minute lean-to off the side of the warehouse, to accommodate some noisy printing machinery.

We also introduced the client to our associates MKM Constructions to project manage the development.





Inbox Group	
Combined office and warehouse	28 x 14m (double story) 52 x 36 x 7.5m (1872m2)
Space completed	June 2020
Located	Corio, VIC



Testimonial

“Central were very easy to deal with right through the design phase and engineering. Central recommended MKM in place of us doing owner builder. This was truly a great partnership. It felt like good collaboration from the beginning, seamless, with no issues. We felt quite comfortable the whole way through the process, nothing was pushed down our throats. We certainly would build with Central again, we had no problems. The actual shed build went really smooth.”

Garth Joyce, Inbox Group

Kane Transport

Client or company

Kane Transport, general freight and heavy haulage needs.

The brief

A commercial builder approached us with a brief. His client required a large logistics warehouse incorporating a wash-down area, workshop, outdoor undercover unloading and loading area, plus an office block with outdoor eating area. All with a 90m side to be built on a title boundary.



Project Overview

Industry
Commercial

Project value range
\$800K - \$1.2M

On-site build time
11 weeks

Completion time
December 2017

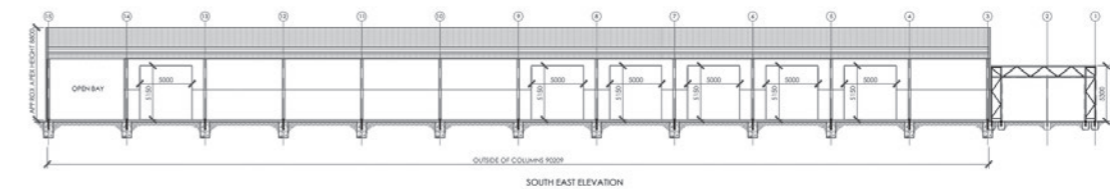
Commercial builder
MKM Constructions

Consulting Geologists
Provincial Geotechnical

Consulting Suppliers
Architect
Geotech
Fire engineer
Structural engineer
Concrete panel
Operable louvre

Our scope and build details

- structural steel drawings, engineering cert and computations
- structural concrete engineering including raft slab design for the office
- 3D structural/shop steel drawings
- fabricated steel package HDG
- purlins and girts
- external steel cladding (roof & wall)
- 920w Industrial fire egress compliant access doors
- guttering and above ground rainwater systems
- roof insulation
- skylights
- customised storage mezzanine floor
- parapet walls for office and front of warehouse
- architectural bulkheads for office and outdoor area
- attached office complex packages including steel & roof
- cantilever canopy



Challenges and solutions

It was essential door openings on the main building, accommodated inbound and outbound freight movements. There was a large unobstructed outdoor unloading area requirement achieved by installing a cantilever canopy which was shaped to look like an aeroplane wing with soffit lining to eliminate birds perching and nesting.

Building on the boundary meant an economical 90/90/90 firewall required design and engineering. It was crucial the outdoor eating area plans accommodated an operable roof louvre system and box gutters whilst retaining a box look to match the architects drawings, hiding the operating mechanism.

Some large columns front of office were designed to accommodate and optimise internal storage cupboards. CAD file sharing between architect and structural draftsman eliminated several clashes between working drawings/ structural drawings.





Kane Transport

Combined office and warehouse	40 x 10m 90 x 40 x 7.5m (3600m2)
Space completed	December 2017
Located	Mitchell Park, VIC



Testimonial

"I was so impressed with the work done by Central Steel Build that I have engaged them to build an Agricultural Shed on my private farm."

Paul Kane, Kane Transport

Powercor

Client or company

Powercor Australia, Kyneton Branch. Powercor is an electricity supplier.

The brief

We were originally asked to quote for the tender on the pre-engineered structure that was fully scoped out by architects, engineers and the builder.

We did this, then also offered a lot of advice and cost savings for them to do things such as; change cladding profiles, change roofing profiles, change gutter design and profiles, re-engineer main structural steel for more economical design. They accepted nearly all our recommendations which saved hundreds of thousands of dollars over the job.



Project Overview

Industry
Commercial

Project value range
\$800K - \$1M

On-site build time
14 weeks

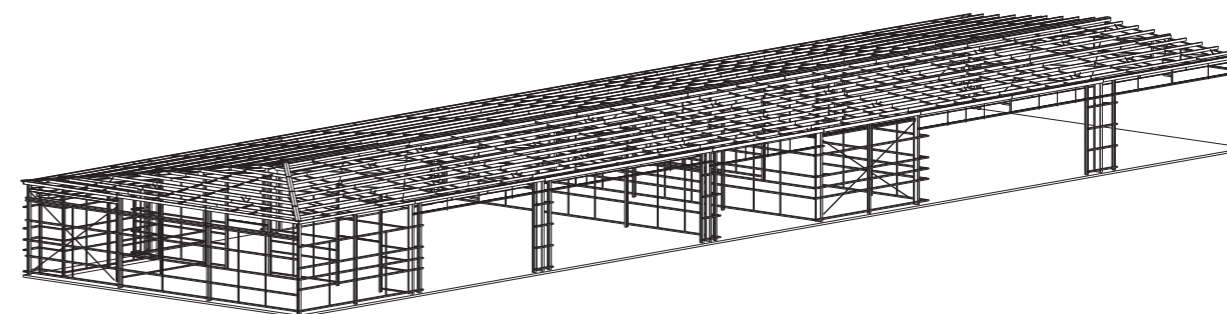
Completion time
March 2020

Commercial builder
Raysett Constructions
under B2B Constructions

Consulting Suppliers
Architect
Structural engineer
Fire engineer
Geotech consultant
Project management co.
Edge door specialist
Slab concreter

Our scope and build details

- ▶ structural steel drawings, engineering cert and computations
- ▶ structural concrete engineering including slab and footing design
- ▶ 3D structural/shop steel drawings
- ▶ fabricated steel package HDG
- ▶ purlins and girts
- ▶ external steel cladding (roof & wall)
- ▶ 920w Industrial fire egress compliant access doors
- ▶ guttering and above ground rainwater systems
- ▶ extra large door openings with girder beams
- ▶ soffit lining
- ▶ architectural angled cladding
- ▶ hip roof
- ▶ internal walls and inset walls



Challenges and solutions

With very large span openings for the clients own large doors, the use of girder beams along with the removal of columns was a well considered solution.

The end design used a hybrid design of eave girder beams plus a ridge girder beam to help spread the load of the large openings.

Due to the technical project, there were multiple stakeholders on the project all involved in decision making and information flow. After establishing trust with the client we were able to communicate directly with the project team.

The design team (along with the engineer) did a great job in coming up with economical design solutions and engineering.





Powercor	
Industrial workshop	55.4m x 25.7m x 8m
Space completed	April 2020
Located	Kyneton



Testimonial

“Central’s staff were pro-active during pricing, detailing and fabrication stages of the project and provided regular progress updates which assisted our on-site planning.

Always approachable and available throughout the project to resolve detailing, they also made modifications where requested by our clients. CSB delivered across all stages of the project and we have been very pleased with the approach of all members of the team who worked to ensure our highest expectations were met.

We have completed two other projects with CSB since the Kyneton project and have another half dozen in the pipeline, needless to say we certainly are working with them again!”

Steve Bershara, Raysett Construtions

Trans Air & Electrics

Client or company

Trans Air & Electrics is an auto electrical and air conditioning services for trucks.

The brief

The client approached us direct to build a new workshop and office that he could run his truck auto-electrical and air-conditioning business workshop from as he had outgrown his existing premises. He required the design to be economical with a specific budget to work within, to make the build viable.

We needed to include small front canopies with integrated box gutter designs, boxed out front on canopies with split heights for clients own architectural cladding. The brief also outlined a mandatory incorporation of a 5kPa mezzanine for storage which was to be above his office area.



Project Overview

Industry
Commercial

Project value range
\$200K - \$300K

On-site build time
4 weeks

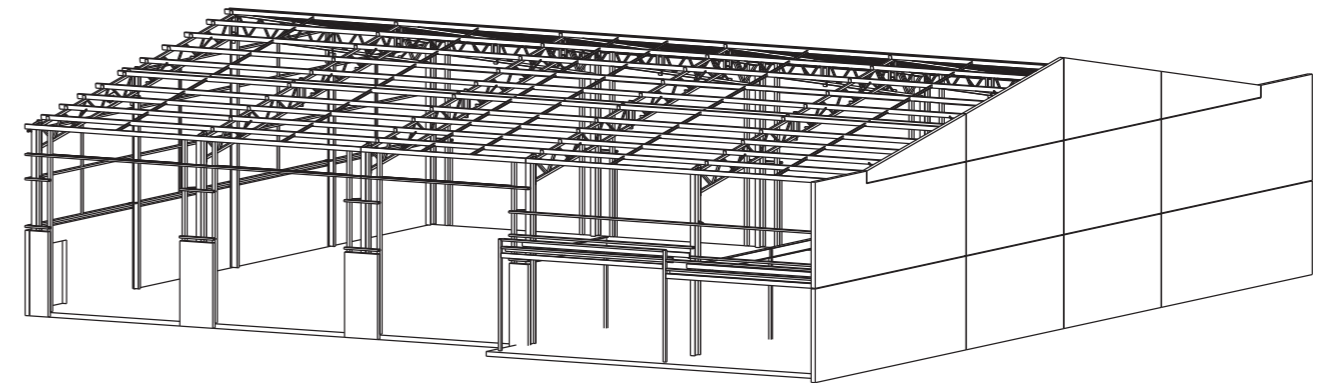
Completion time
June 2020

Builder
Owner builder

Consulting Suppliers
Architect draftsman
Owner builder
Earthmoving contractor
Concrete panel supplier
Builder for fit-out works
Slab concreter

Our scope and build details

- ▶ structural steel drawings, engineering cert and computations
- ▶ structural concrete engineering including the slab and office slab design
- ▶ concrete panels engineering and design
- ▶ 3D structural/shop steel drawings
- ▶ fabricated steel package HDG
- ▶ purlins and girts
- ▶ external steel cladding (roof & wall)
- ▶ 920w Industrial fire egress compliant access doors
- ▶ guttering and above ground rainwater systems
- ▶ roof insulation
- ▶ box guttering on office canopy
- ▶ customised storage mezzanine floor
- ▶ parapet walls for office and front of warehouse
- ▶ architectural parapet for front office canopies
- ▶ glazing beam and opening for clients own architectural glazing



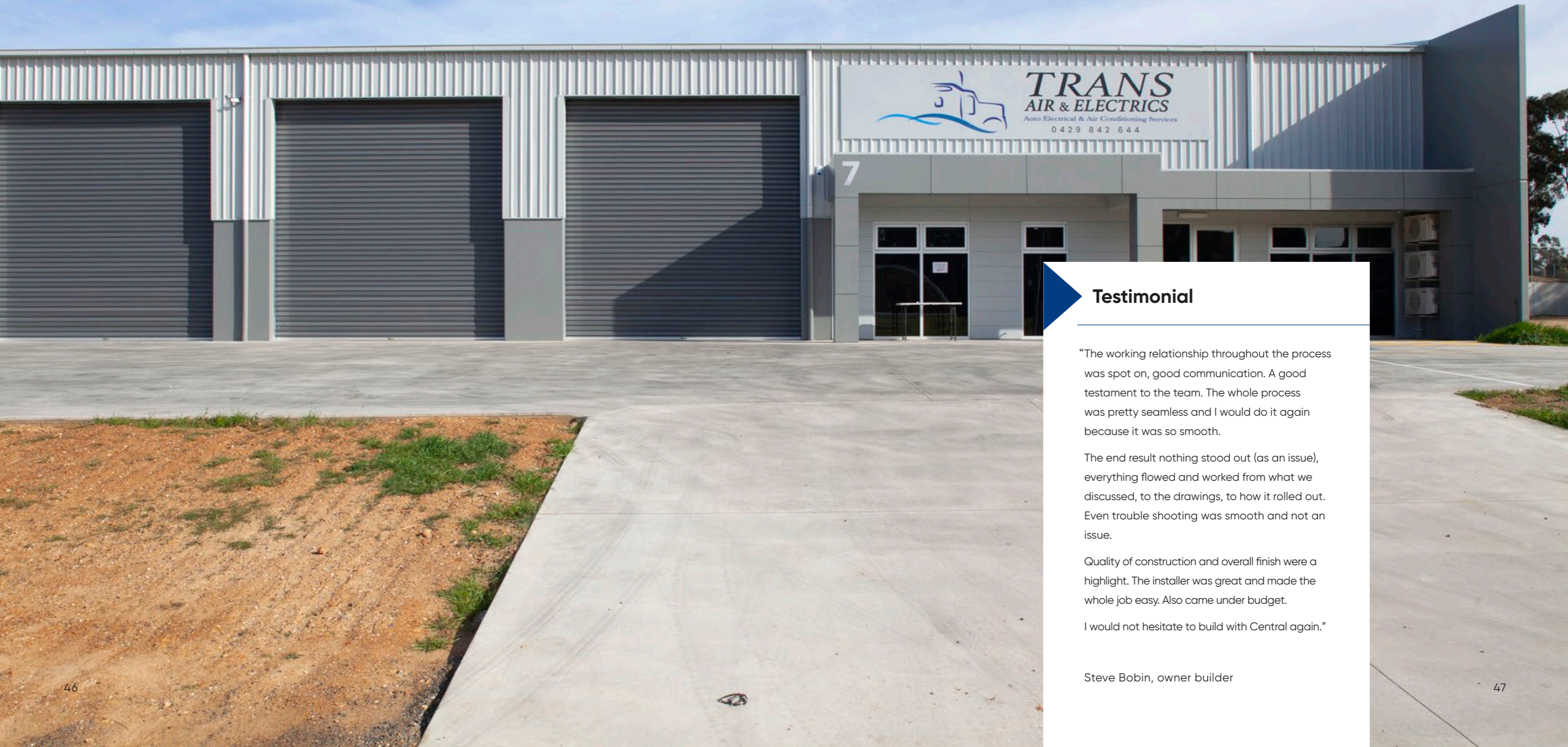
Challenges and solutions

There were no specific challenges apart from working within a specific budget, a challenge we always rise to and find solutions to achieve.





Trans Air & Electrics	
Combined office and workshop	30m x 36m x 5m (780m2)
Space completed	June 2020
Located	Bendigo, VIC



Testimonial

“The working relationship throughout the process was spot on, good communication. A good testament to the team. The whole process was pretty seamless and I would do it again because it was so smooth.

The end result nothing stood out (as an issue), everything flowed and worked from what we discussed, to the drawings, to how it rolled out. Even trouble shooting was smooth and not an issue.

Quality of construction and overall finish were a highlight. The installer was great and made the whole job easy. Also came under budget.

I would not hesitate to build with Central again.”

Steve Bobin, owner builder

Western Region Waste and Recycling Centre

Client or company

Western Region Waste and Recycling Centre is an indoor tip and recycling facility.

The brief

The client approached us direct to build a 3700m2 recycling transfer station and office facility to work with traffic flow and height requirements whilst still maintaining an economical build cost. He came to us with a rough size and the clear idea of what he wanted at the end of the project. We then came up with a design that fulfilled his requirements and made the build very economical.



Western Region Waste and Recycling Centre case study

Project Overview

Industry
Commercial

Project value range
\$900K - \$1.3M

On-site build time
10 weeks

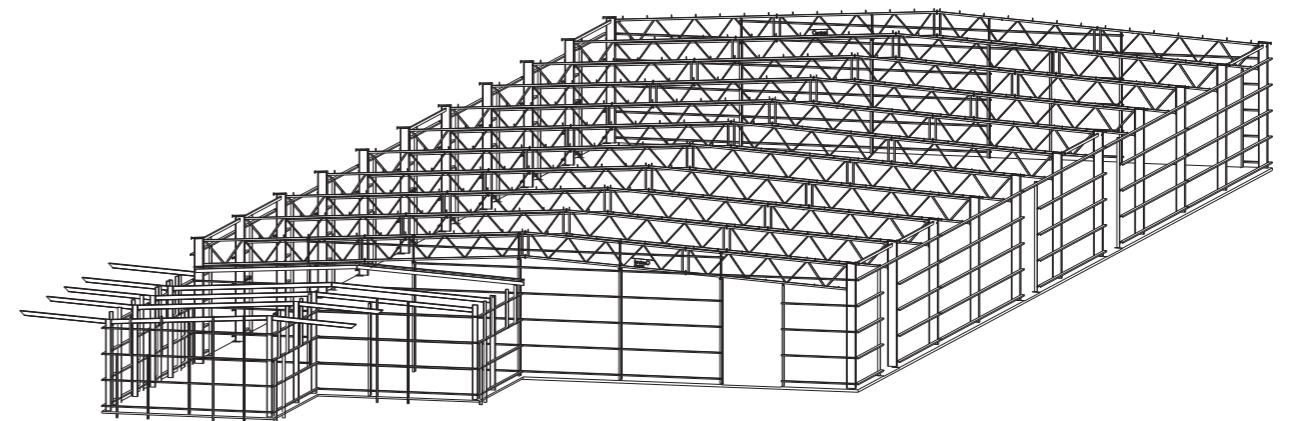
Completion time
July 2019

Builder
Owner builder

Consulting Suppliers
Draftsperson
Structural engineer
Geotech consultant
Fire engineer
Slab concreter
Builder for fitout works

Our scope and build details

- ▶ structural steel drawings, engineering cert and computations
- ▶ structural concrete engineering including slab and office slab design
- ▶ 3D structural/shop steel drawings
- ▶ fabricated steel package HDG
- ▶ purlins and girts
- ▶ external steel cladding (roof and wall)
- ▶ 920w Industrial fire egress compliant access doors
- ▶ guttering and above ground rainwater systems
- ▶ mezzanine floor
- ▶ multiple sliding doors
- ▶ attached office complex packages including steel and roof
- ▶ cantilever canopies



Challenges and solutions

Our client required a certain clearance height so his machinery could function inside, along with a requirement for a large amount of entry and exit doors on both sides of the building.

We needed to perform studies and concepts on clearance heights to work out the required clearance for our client's machinery. After this we were able to determine eave heights for the building.

To answer our client's door requirements, we researched the idea of roller shutters but ended up implementing a sliding door system with a removable 'centre' sliding door guide so there were no obstacles for Western Region Recycle and Waste Centre's clients to hit when driving into the building.



Western Region Waste and Recycling Centre

Combined office and warehouse	20m x 20m x 5.5m (double story) 93m x 40m x 7.5m 3750m2
Space completed	July 2019
Located	Maddingley, VIC



Testimonial

“CSB delivered the building when they said they would which was critical, I was on a tight time frame. Then the build was delayed by weather so when the builders were able to get on site it was a mess, they still worked through horrible weather. Amazed me with what they did. I dealt with a very impressive and sensible young fella with his head screwed on the right way.

I would build with CSB again. It was a pain free process with a fixed quote, speedy build and the best part was they sent me a bottle of Gin for Christmas!”

John Fawcett, owner builder

What you've asked



1. What is Pro.?

Pro. is a collaborative building project delivery model developed by Central after we acknowledged a gap in the market for a smarter way to share, work and partner with like-minded commercial builders. By applying our structural design expertise and proactive problem solving we can help you achieve cost savings, achieve innovative structural design solutions, and accelerate project delivery.

2. Why is Pro. the design build advantage?

Pro. is so well considered, it comes with all the bells and whistles. Pro.'s approach to pre-build creates a significant advantage for starters. Our proven experience and capabilities in commercial builds enables us to quickly dig into a level of detail far beyond the usual scope at this stage of a tender. This gives you a tremendous advantage.

But there's more. It's a more efficient process, with cost effective value engineering, applying a streamlined operation. This exclusive approach also allows for open, accessible communication right from the start. The design solution is tailored - fit for purpose. We are here as advisors, supporters, professionals and we'll make sure you will impress your client with the outcome.

3. What is the disadvantage of the design-bid-tender approach?

Over engineering generally creates large waste where external engineers are engaged and don't possess the

smarts or incentive to value engineer. Traditional tender gives less opportunity for consultants or suppliers to have any input to ensure value engineering is just that - true value. Time is also wasted as the traditional tender process is very gradual, any changes made are very slow, as opposed to Pro. where the job can be underway fast before finalising all the finishing details.

4. Why is Pro. a more progressive approach than a design-bid-tender process?

Without a doubt Pro. is a leading approach. By applying such smarts at the beginning of the job, this allows the construction project to be scoped out in a highly effective way. It's a joint venture with trusted suppliers and advisors, contributing round table opposed to the traditional tender project delivery that is slow and not always value engineered.

A steel package is then presented with the best possible option for the specific job. Compared to the traditional design-bid-tender approach, Pro. cuts waste to curtail errors and reduce cost.

5. How does Pro. start the collaboration?

We get involved from the start by either:

- a) we get a direct lead from a client and we put them in touch with a builder we have worked with before and scope it out between us or;
- b) the builder comes to us with their own lead and we work with them to ensure their design is economical, value engineered, without compromising the building as being fit for purpose.

6. Who is responsible for the project design?

Generally we find the builders architect or building designer provides the initial overall project design. This scenario differs from job to job depending if the client has already been to an architect and how advanced the project is or perhaps it's an owner builder.

These days many commercial builders have their own in-house architects or building designer and/or a close working relationship with a regular architect that understands this methodology of design-build. But it's not always the case, an owner-builder may have already engaged an architect that is willing to work alongside us. From here, we can design the steel package appropriate for the specific job.

7. Why does Pro. encourage one scope package over the traditional method where several packages are put forward?

The Pro. approach is much more progressive, allowing us to consolidate one inclusive master package in preference to a traditional method where several packages are on the table. Supplying one package reduces the risk of 'scope creep' and keeps all eggs in one basket (so to speak) for you, the builder. This inclusive package also invests in a single point of responsibility and contact.

From our observation, they traditionally split up over several packages which quite often results in some confusion and frustration for commercial builders or owner builders to price and coordinate.

8. How does the cross over of various drawing plans from each supplier work?

We all work with BIM compatible CAD programs that we willingly file share between all parties to ensure a seamless project delivery. This eliminates any clashes and constraints that can be identified early on, rather than resulting in cost blowouts and variations. At the end of the day, we all have the same end goal and want the best possible end result.

9. How is Pro.'s role via Central, managed throughout the process?

With a dedicated Project Manager on each Pro. project covering our scope of the job from start to finish, a streamline process is ensured.

10. Why partner with us?

There are plenty of benefits forming this partnership. One stand out reason compared to the traditional design-bid-tender process, we know we say it a lot but Pro. truly cuts waste to reduce errors and reduce cost. Also by supporting you as a trusted stakeholder, we help develop steel packages on applicable projects that assists you with invaluable industry knowledge and input, fast quotes, and ultimately ensures you get a glowing review from your client. For our full list of top benefits, head to page 8.

11. How fast is the quote turn around?

We do pride ourselves on fast turn around, achievable through years of experience and knowledge. A maximum of forty-eight hours and the well considered quote will be ready for you.

12. Where is the steel sourced?

We 100% support Australian made steel. In fact supporting Australian manufacturing and local industries is part of us, we wouldn't have it any other way.

13. Does Central support sustainable practices?

We have incorporated both sustainable and eco-friendly practices throughout the entire company. For these plans to be ultimately effective, we start implementation from concept, and follow the pattern to completion. It's us and the way we work.

14. Does the relationship end at handover?

Not from experience. We are confident our business association won't end here. It's no secret we nurture partnerships with compatible builders. Pro. will change your business.

Pro.

THE DESIGN BUILD ADVANTAGE

Let's connect.

Always willing to share information, our Pro. partnership was specifically developed to support commercial builders and owner builders.

Let's start an open conversation and see if we are a great fit. If you'd like to explore further the Pro. approach and take the advantage, give Alister our specialist consultant a call, email or simply click the Go button below to enquire online. We like to chat, so you'll hear back from us soon.

Let's connect, find us here:

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